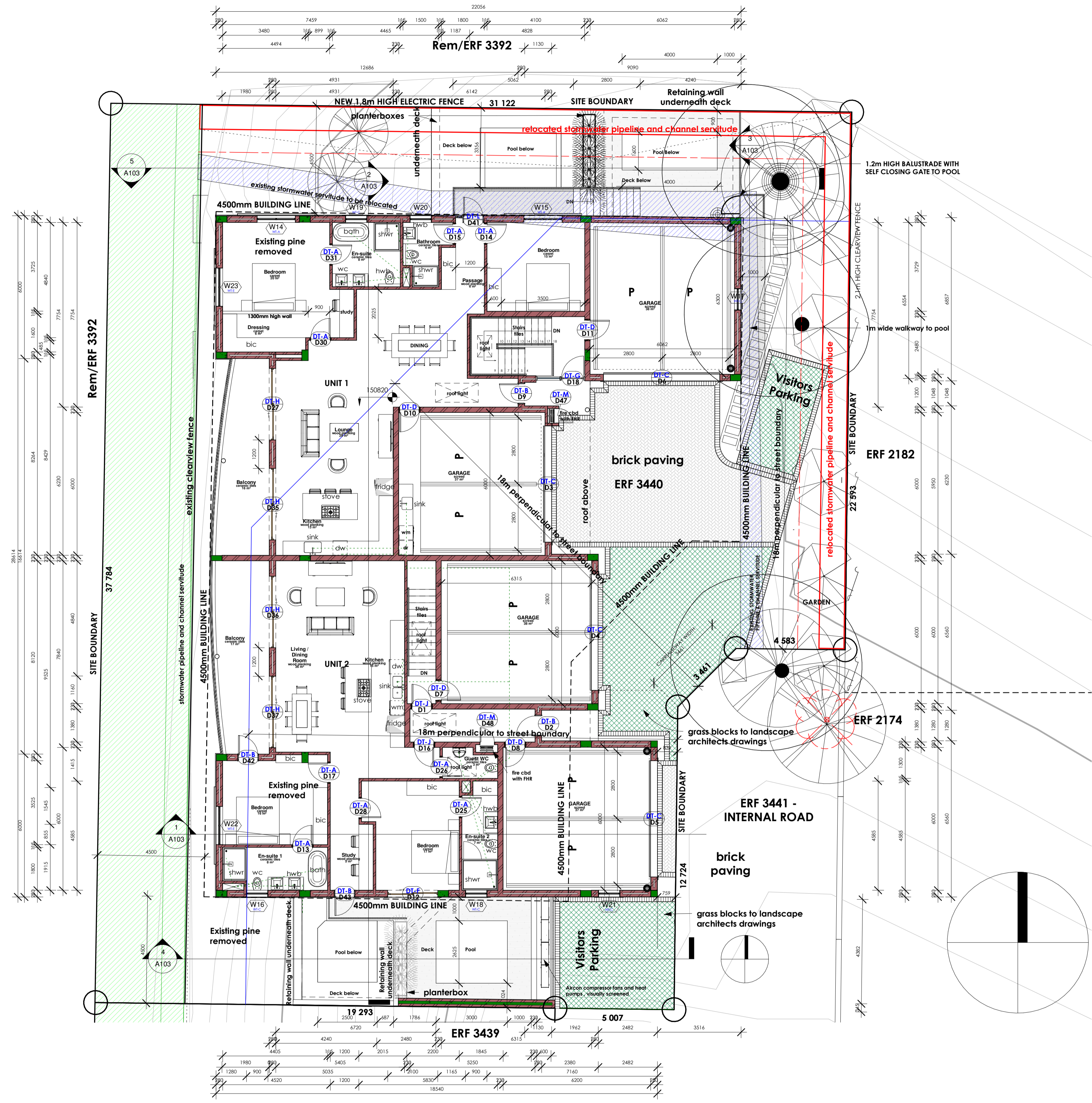


**NOTE:**  
 PLUMBING INSTALLATION ALL ACCORDING TO PART P - SANS 10400 BASIN, SHOWER, SINK, TO 50mm DIA. WASTE WATER PIPE WC TO 110mm DIA. SOIL WATER PIPE, ALL CONNECTED TO MAIN SEWER LINE 110mm DIA. UPVC SOIL PIPES AT MIN. FALLS OF 1:60. SEWER VENTILATED AT HIGHEST POINT. ALLOW FOR I.E. AT CONNECTION TO MAIN SEWER LINE AND R.E. AT EACH END.

Where a portion of a drain passes through a building, such portion shall be:  
 a) supported throughout its length, without restricting thermal movement, and such support shall be securely attached to the building, and  
 b) so placed that any junction, bend or point of access into it is readily accessible.  
 Drainage to comply with SANS 10400-P: 2010.



1 SECOND STOREY (FIRST FLOOR)  
 1 : 100

Architects  
 Signature: *[Signature]*  
 Clients  
 Signature: *[Signature]*



La Montagne - ERF 3440 (PROPOSED FLATS)		Project number	0118	SECOND STOREY PLANS
Date	16-05-2023		<b>0118</b>	<b>A100</b>
Drawn by	BP		CURRENT REVISION	
Checked by	CKA	Scale		1 : 100

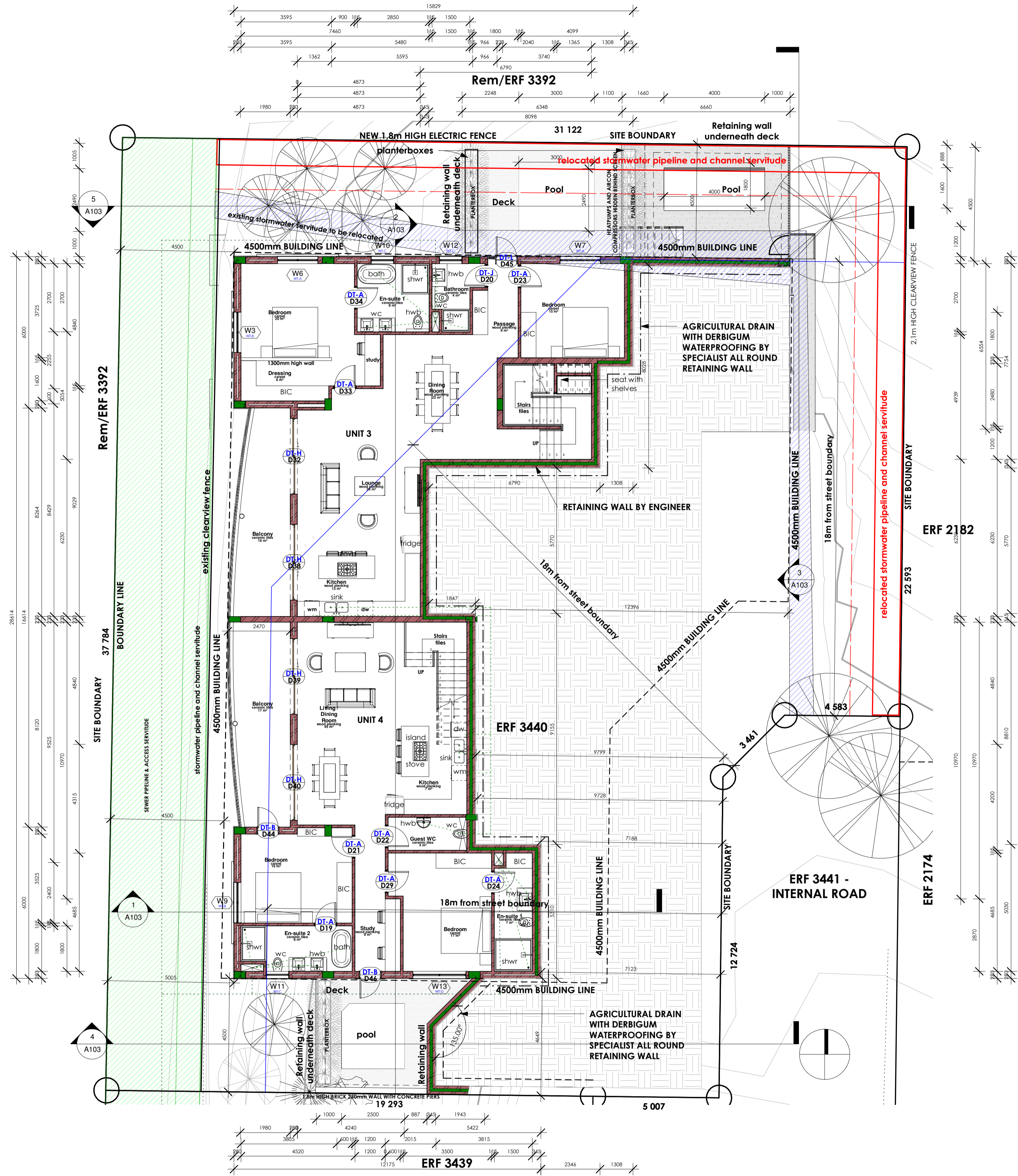
**GENERAL NOTES**  
**FOUNDATIONS**  
 FOUNDATIONS TO COMPLY SANS 10400-H:2011  
 ALL FOUNDATIONS TO BE CAST IN SIZES AS SHOWN BY ENGINEER  
**WALLS**  
 WALLS TO COMPLY SANS 10400-K:2011  
 ALL WALLS TO BE BUILT WITH APPROVED 115x90x220mm MAXI BRICKS & CLASS 2 MORTAR, COMPRESSIVE STRENGTH: 3.5 MPA FOR SINGLE STOREY & 7.0 MPA FOR DOUBLE STOREY STRUCTURES. PROVIDE REINFORCED BRICK BEAMS OVER ALL DOOR AND WINDOW OPENINGS, WITH BRICKWORK TO EVERY THIRD BRICK COURSE. PROVIDE STEEL BUTTERFLY WALL TIES AT 2.5 TIES/M<sup>2</sup> TO ALL CAVITY WALLS. PROVIDE DAMP PROOF COURSE AT FLOORS & LINTOLS. CAVITIES FILLED WITH CONCRETE BELOW GROUND FLOOR TO FOUNDATIONS. PROVIDE STEPPED DPM, 375 MIC, EMBOSSED BRICKGRIP AT FLOOR LEVEL ABOVE DOORS & WINDOWS. PROVIDE 10x72x10mm GUNDEL GUNVENT UPVC WEEPHOLES AT 600MM C/C. WALL  
**GROUND FLOOR**  
 FLOORS TO COMPLY SANS 10400-J:2011  
 FLOOR FINISH AS INDICATED ON PLAN ON 40mm SCREED ON CONCRETE SURFACE SLAB BY ENG. WITH REF. 193 MESH STEEL RE. MAT ON 250mic USB GREEN DAMP PROOF COURSE (SANS 925-1985 TYPE C) LIND WITH MIN. 150MM OVERLAPS SEALED WITH GUNPLAS TAPE. ALL INSTALLED ON 40mm ISOBOARD INSULATION ON 50MM CLEAN SANDRED ON WELL COMPACTED FILLING (150MM LAYERS). PROVIDE 22x120MM SAP MOULDED SKIRTING ALL PAINTED TO FINISHING SCHEDULE DPM HEIGHT ABOVE GROUND LEVEL TO COMPLY WITH PART K (4.5.3.7) OF SANS 10400  
**LINTOLS**  
 PRESTRESSED CONCRETE LINTOLS OVER ALL WINDOW & DOOR OPENINGS WIDER THAN 600MM. LINTOLS MUST OVERLAP 230MM ON EITHER SIDE OF OPENING. PROVIDE BRICKFORCE REINFORCEMENT IN BRICKWORK AS FOLLOWS: SPAN 2.1 - 3.0M (4 LAYERS B/F), SPAN 3.0 - 3.9M (5 LAYERS B/F), SPAN 3.9 - 5.1M (6 LAYERS B/F)  
**WALL FINISHES**  
 EXTERNAL - & INTERNAL WALLS - 15MM SMOOTH SPONGE PLASTER & PAINT FINISHES AS PER FINISHING SCHEDULE (OR AS INDICATED ON ELEVATIONS)  
**WINDOWS**  
 ALL WINDOWS TO BE PURPOSE MADE POWDER COATED ALUMINIUM.  
 SIZES AS PER SCHEDULE. GLASS GREATER THAN 1sqm TO BE 6.38mm PVB LAMINATED SAFETY GLASS AS TO COMPLY TO SANS 1263 (PART 1.2 OR 3) ALL WINDOWS FACING NORTH, SOUTH & EAST TO BE DOUBLE GLAZING TO COMPLY WITH STATUTORY REQUIREMENTS  
**DOORS**  
 ALL DOOR SIZES AS PER SCHEDULE. GLASS GREATER THAN 1sqm TO BE 6.38mm PVB LAMINATED SAFETY GLASS AS TO COMPLY TO SANS 1263 (PART 1.2 OR 3)  
**ROOFS**  
 ALL ROOFS TO COMPLY SANS 10400-L:2011  
 MAIN ROOF TO BE COVERED BY STONE CHIPS ON TOP OF DERBIGUM WATERPROOFING BY SPECIALIST WITH SCREED TO FALL TO FULL BORES WITH 40mm ISOBOARD INSULATION ON ROOF SLAB BY ENG. TO COMPLY WITH ALL THE RELEVANT SANS 10400 REGULATIONS  
**CEILING**  
 GYPROC 6.4mm RHINOCEBIL GYPSUM BOARD WITH SQUARE EDGED RHINOBOARD FIXED (PRINTED SIDE UP) WITH 32mm GALV. CLOUT NAILS AT 150MM C/C TO 38x38mm SAP BRANDING AT 300MM C/C IN ONE DIRECTION. ALL JOINTS COVERED WITH RHINOPLATE BEFORE APPLICATION OF 6MM RHINOULITE GYPSUM PLASTER. CEILING FINISHED WITH BUILDERS PVA. 20MM SHADOWLINE ALL ROUND  
**DRAINAGE**  
 ALL TO COMPLY SANS 10400-P:2011  
 SOIL AND VENT PIPES AND FITTINGS TO BE MARLEY UPVC (SABS 967) OF 75MM OR 110MM DIA. AS INDICATED ON DRAWINGS. WASTE PIPES & FITTINGS TO BE MARLEY UPVC (SABS 967) OF 40MM OR 50MM DIA. AS INDICATED ON DRAWINGS. ALL EXPOSED FITTINGS TO BE ACCESS FITTINGS. PROVIDE VENT PIPE AT HIGHEST POINT OF INSTALLATION. ALL SANITARYWARE AT FIRST FLOOR LEVEL TO BE FITTED WITH DEEP SEAL TRAPS. PROVIDE 4 x Y12 BARS TO FOUNDATIONS AT ALL INTERSECTIONS WITH ANY UNDERGROUND PIPE LOCATED BELOW STRUCTURE  
 ALL DRAINAGE DUCTS TO HAVE ACCESS HATCH TO COMPLY WITH SANS 10400 PART P  
 THE HYDRAULIC LOADING FOR PROPOSED DISCHARGE PIPES TO COMPLY WITH PART P OF SANS 10400 SEWER SYSTEM TO CONNECT TO EXISTING HOUSE CONNECTION MANHOLES TO BE PROVIDED AT CONNECTION POINTS  
 RODDING EYES TO BE PROVIDED AT CHANGES IN DIRECTION  
**ELECTRICAL**  
 CONTRACTOR TO PROVIDE COMPLIANCE CERTIFICATE  
 1. SINGLE PHASE CONNECTION REQUIRED  
 2. APPLICATION FOR PRE-PAY METER REQUIRED  
 3. ALL TV POINTS TO BE LINKED WITH 2 x 25MM CONDUIT  
 4. STOVE CONDUIT TO BE 25MM  
 5. MOUNTING HEIGHTS:  
 • 300MM A/FEL (SOCKET GENERAL)  
 • 1100MM A/FEL (SOCKET CUPB / TOPS)  
 • 1100MM A/FEL (SWITCHES)  
 6. PROVIDE SAMPLES OF LE GRANDE FITTINGS  
**ENERGY USAGE DATA:**  
 BUILDING CLASSIFICATION: H3  
 GARAGE CLASSIFICATION: J4  
 CLIMATIC ZONE 4  
**TOTAL BUILDING AREA:** EXCLUDING WALKWAYS, UNDERCOV. PATIO - BALCONIES m<sup>2</sup>  
**NET FLOOR AREA:** 791m<sup>2</sup>  
 FENESTRATION CALCULATION: SEE TABLE COMPLIES  
 FLOORS: PROVIDE & INSTALL 40MM ISOBOARD (R-VALUE 1.00) AROUND VERTICAL EDGES AND BELOW SLAB IN ACCORDANCE WITH SANS 204:2001 4.3.2 FLOORS  
**EXTERNAL WALLS:** MASONRY WALL TO ACHIEVE MIN. R-VALUE OF 0.35. 280mm WALL USED EXCEEDS VALUE  
**THERMAL INSULATION:** PROVIDE THERMAL INSULATION IN ACCORDANCE WITH SANS 204:2011 & SANS 10177-7 & SANS 428  
**LIGHTING & POWER:** MIN. LEVEL IN ACCORDANCE WITH SANS 10114-1 & SANS 10400-O. INSTALLED LOW ENERGY FITTINGS  
**GENERAL:**  
 ALL SHOWERS TO BE FITTED WITH LOW FLOW SHOWER HEADS.  
 ALL UNITS TO BE FITTED WITH A 15mm WATER METER  
 WATERPROOFING BY SPECIALIST - DERBIGUM TORCH-ON WATERPROOFING TO SCREED TO FALL ON ALL CONCRETE WALKWAYS, BALCONIES & ROOF SLABS

2023/05/19 13:03:01



**NOTE:**  
PLUMBING INSTALLATION ALL ACCORDING TO PART P - SANS 10400 BASIN, SHOWER, SINK, TO 50mm DIA. WASTE WATER PIPE WC TO 110mm DIA. SOIL WATER PIPE, ALL CONNECTED TO MAIN SEWER LINE 110mm DIA. UPVC SOIL PIPES AT MIN. FALLS OF 1:60. SEWER VENTILATED AT HIGHEST POINT, ALLOW FOR I.E. AT CONNECTION TO MAIN SEWER LINE AND R.E. AT EACH BEND

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a) supported throughout its length, without restricting thermal movement, and such support shall be securely attached to the building, and  
b) so placed that any junction, bend or point of access into it is readily accessible.  
Drainage to comply with SANS 10400-P: 2010.



1 FIRST STOREY (GROUND FLOOR)  
1 : 100

Architects  
Signature: *[Handwritten Signature]*

Clients  
Signature: *[Handwritten Signature]*

**christof albertyn architect**  
17 marine drive hermanus 7200  
SACAP 3637 0825722844  
christofarch@gmail.com

La Montagne - ERF 3440 (PROPOSED FLATS)		Project number	0118	FIRST STOREY PLAN
Date	16-05-2023		<b>0118</b>	<b>A102</b>
Drawn by	BP		CURRENT	REVISION
Checked by	CKA	Scale		1 : 100

**GENERAL NOTES**

**FOUNDATIONS**  
FOUNDATIONS TO COMPLY SANS 10400-H2011  
ALL FOUNDATIONS TO BE CAST IN SIZES AS SHOWN BY ENGINEER

**WALLS**  
WALLS TO COMPLY SANS 10400-K2011  
ALL WALLS TO BE BUILT WITH APPROVED 115x90x220mm MAXI BRICKS & CLASS 2 MORTAR, COMPRESSIVE STRENGTH: 3.5 MPA FOR SINGLE STOREY & 7.0 MPA FOR DOUBLE STOREY STRUCTURES. PROVIDE REINFORCED BRICK BEAMS OVER ALL DOOR AND WINDOW OPENINGS, WITH BRICKFORCE TO EVERY THIRD BRICK COURSE. PROVIDE STEEL BUTTERFLY WALL TIES AT 2.5 TIES/M<sup>2</sup> TO ALL CAVITY WALLS. PROVIDE DAMP PROOF COURSE AT FLOORS & INTOLS. CAVITIES FILLED WITH CONCRETE BELOW GROUND FLOOR TO FOUNDATIONS. PROVIDE STEPPED DPM, 375 MIC. EMBOSSED BRICKGRIP AT FLOOR LEVEL, ABOVE DOORS & WINDOWS. PROVIDE 10x72x110mm GUNDELE GUNVENT UPVC WEEPHOLES AT 600MM C/C. WALL

**GROUND FLOOR**  
FLOORS TO COMPLY SANS 10400-J2011  
FLOOR FINISH AS INDICATED ON PLAN ON 40mm SCREED ON CONCRETE SURFACE SLAB BY ENG. WITH REF. 193 MESH STEEL RE. MAT ON 250mic USB GREEN DAMP PROOF COURSE (SANS 925-1985 TYPE C) LAID WITH MIN. 150MM OVERLAPS SEALED WITH GUNPLAS TAPE. ALL INSTALLED ON 40mm ISOBOARD INSULATION ON 50MM CLEAN SANDBED ON WELL COMPACTED FILLING (150MM LAYERS). PROVIDE 22x120mm SAP MOULDED SKIRTING ALL PAINTED TO FINISHING SCHEDULE DPM HEIGHT ABOVE GROUND LEVEL TO COMPLY WITH PART K (4.5.3.7) OF SANS 10400

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PRESTRESSED CONCRETE LINTOLS OVER ALL WINDOW & DOOR OPENINGS WIDER THAN 600MM. LINTOLS MUST OVERLAP 230MM ON EITHER SIDE OF OPENING. PROVIDE BRICKFORCE REINFORCEMENT IN BRICKWORK AS FOLLOWS: SPAN 2.1 - 3.0M (4 LAYERS B/F), SPAN 3.0 - 3.9M (5 LAYERS B/F), SPAN 3.9 - 5.1M (6 LAYERS B/F)

**WALL FINISHES**  
EXTERNAL - & INTERNAL WALLS - 15MM SMOOTH SPONGE PLASTER & PAINT FINISHES AS PER FINISHING SCHEDULE (OR AS INDICATED ON ELEVATIONS)

**WINDOWS**  
ALL WINDOWS TO BE PURPOSE MADE POWDER COATED ALUMINIUM, SIZES AS PER SCHEDULE. GLASS GREATER THAN 1sqm TO BE 6.38mm PVB LAMINATED SAFETY GLASS AS TO COMPLY TO SANS 1263 (PART 1.2 OR 3) ALL WINDOWS FACING NORTH, SOUTH & EAST TO BE DOUBLE GLAZING TO COMPLY WITH STATUTORY REQUIREMENTS

**DOORS**  
ALL DOOR SIZES AS PER SCHEDULE. GLASS GREATER THAN 1sqm TO BE 6.38mm PVB LAMINATED SAFETY GLASS AS TO COMPLY TO SANS 1263 (PART 1.2 OR 3)

**ROOFS**  
ALL ROOFS TO COMPLY SANS 10400-L2011  
MAIN ROOF TO BE COVERED BY STONE CHIPS ON TOP OF DERBIGUM WATERPROOFING BY SPECIALIST WITH SCREED TO FALL TO FULL BORES WITH 40mm ISOBOARD INSULATION ON ROOF SLAB BY ENG. TO COMPLY WITH ALL THE RELEVANT SANS 10400 REGULATIONS

**CEILING**  
GYPROC 6.4mm RHINOCEIL GYPSUM BOARD WITH SQUARE EDGED RHINOBOARD FIXED (PRINTED SIDE UP) WITH 32mm GALV. CLOUT NAILS AT 150MM C/C TO 38x38mm SAP BRANDING AT 300MM C/C IN ONE DIRECTION. ALL JOINTS COVERED WITH RHINO TAPE BEFORE APPLICATION OF 6MM RHINO LITE GYPSUM PLASTER. CEILING FINISHED WITH BUILDERS PVA - 20MM SHADOWLINE ALL ROUND

**DRAINAGE**  
ALL TO COMPLY SANS 10400-P:2011  
SOIL AND VENT PIPES AND FITTINGS TO BE MARLEY UPVC (SABS 967) OF 75MM OR 110MM DIA. AS INDICATED ON DRAWINGS. WASTE PIPES & FITTINGS TO BE MARLEY UPVC (SABS 967) OF 40MM OR 50MM DIA. AS INDICATED ON DRAWINGS. ALL EXPOSED FITTINGS TO BE ACCESS FITTINGS. PROVIDE VENT PIPE AT HIGHEST POINT OF INSTALLATION. ALL SANITARYWARE AT FIRST FLOOR LEVEL TO BE FITTED WITH DEEP SEAL TRAPS. PROVIDE 4 x Y12 BARS TO FOUNDATIONS AT ALL INTERSECTIONS WITH ANY UNDERGROUND PIPE LOCATED BELOW STRUCTURE  
ALL DRAINAGE DUCTS TO HAVE ACCESS HATCH TO COMPLY WITH SANS 10400 PART P  
THE HYDRAULIC LOADING FOR PROPOSED DISCHARGE PIPES TO COMPLY WITH PART P OF SANS 10400  
SEWER SYSTEM TO CONNECT TO EXISTING HOUSE CONNECTION  
MANHOLES TO BE PROVIDED AT CONNECTION POINTS  
RODDING EYES TO BE PROVIDED AT CHANGES IN DIRECTION

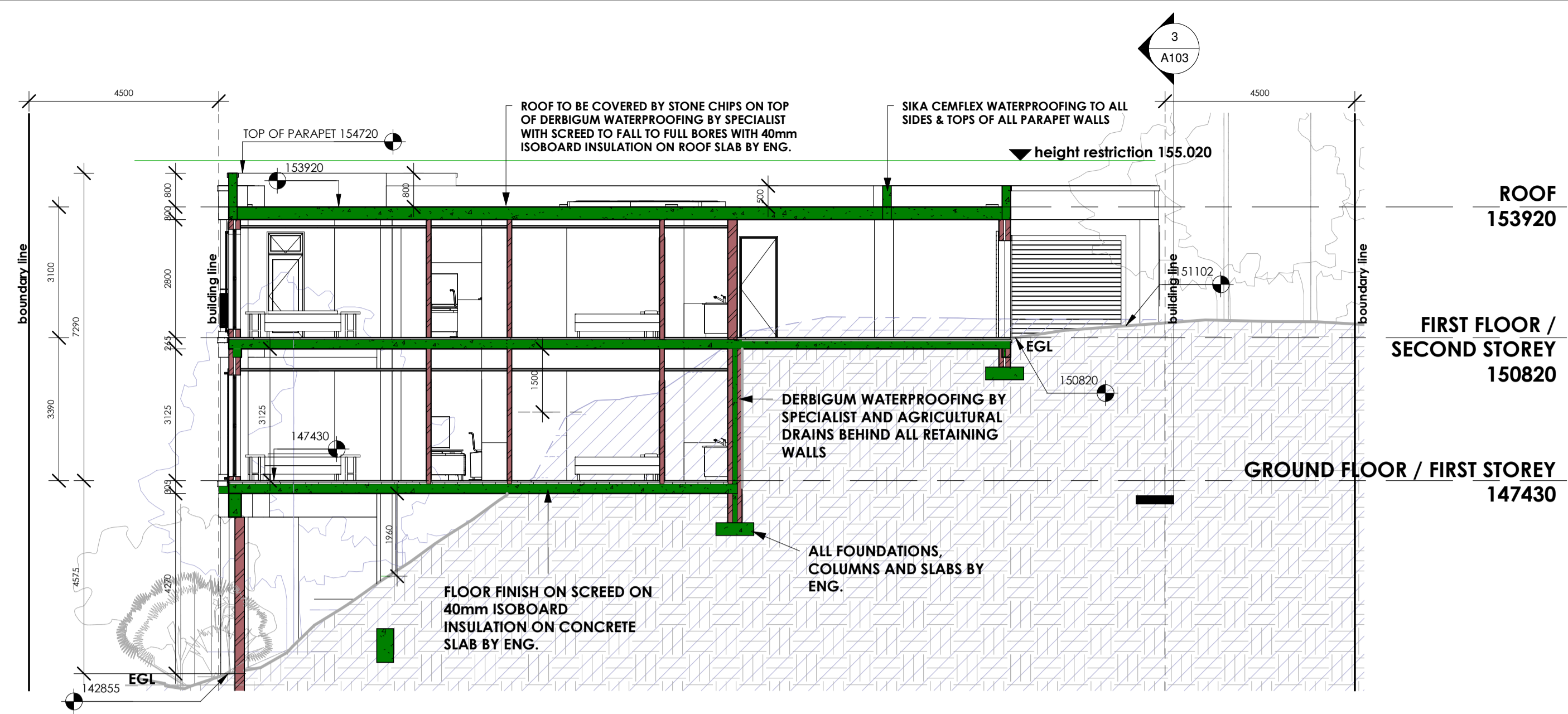
**ELECTRICAL**  
CONTRACTOR TO PROVIDE COMPLIANCE CERTIFICATE  
1. SINGLE PHASE CONNECTION REQUIRED  
2. APPLICATION FOR PRE-PAY METER REQUIRED  
3. ALL TV POINTS TO BE LINKED WITH 2 x 25MM CONDUIT  
4. STOVE CONDUIT TO BE 25MM  
5. MOUNTING HEIGHTS:  
• 300MM A/FEL (SOCKET GENERAL)  
• 1100MM A/FEL (SOCKET CUPB / TOPS)  
• 1100MM A/FEL (SWITCHES)  
6. PROVIDE SAMPLES OF LE GRANDE FITTINGS

**ENERGY USAGE DATA:**  
BUILDING CLASSIFICATION: H3  
GARAGE CLASSIFICATION: J4  
CLIMATIC ZONE: 4

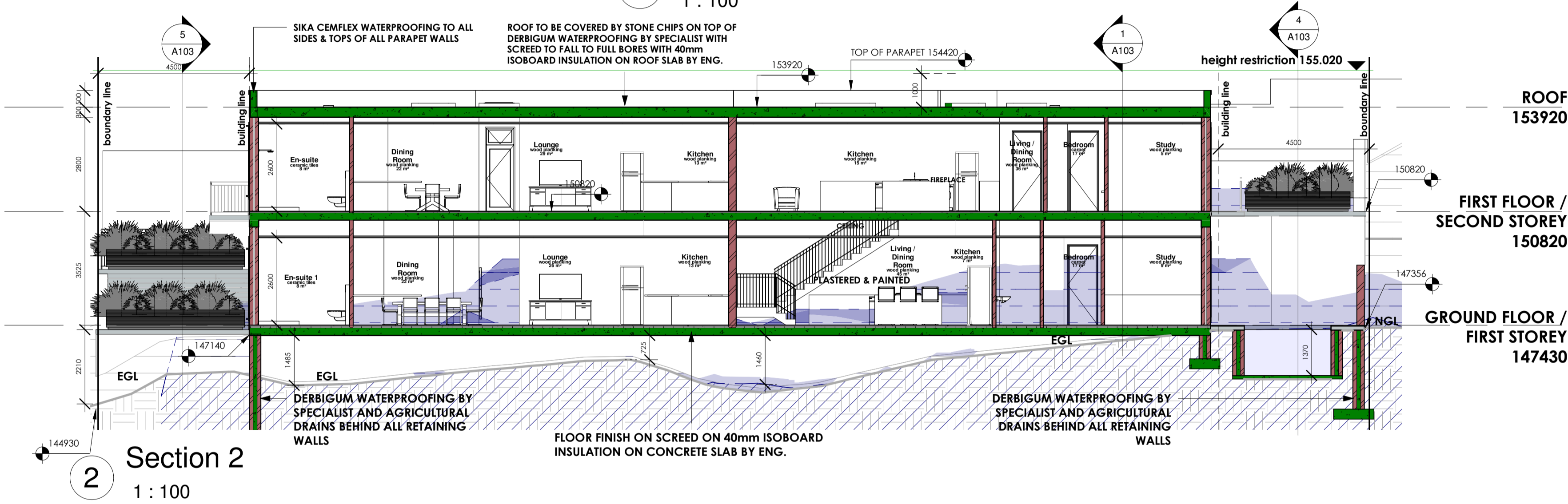
**TOTAL BUILDING AREA:** EXCLUDING WALKWAYS, UNDERCOV. PATIO - BALCONIES m<sup>2</sup>  
**NET FLOOR AREA:** 791m<sup>2</sup>  
PENETRATION CALCULATION: SEE TABLE COMPLIES  
FLOORS: PROVIDE & INSTALL 40MM ISOBOARD (R-VALUE 1.00) AROUND VERTICAL EDGES AND BELOW SLAB IN ACCORDANCE WITH SANS 204:2001 4.3.2 FLOORS  
**EXTERNAL WALLS:** MASONRY WALL TO ACHIEVE MIN. R-VALUE OF 0.35. 280mm WALL USED EXCEEDS VALUE  
**THERMAL INSULATION:** PROVIDE THERMAL INSULATION IN ACCORDANCE WITH SANS 204:2011 & SANS 10177-7 & SANS 428  
**LIGHTING & POWER:** MIN. LEVEL IN ACCORDANCE WITH SANS 10114-1 & SANS 10400-O. INSTALL LED LOW ENERGY FITTINGS  
**GENERAL:**  
ALL SHOWERS TO BE FITTED WITH LOW FLOW SHOWER HEADS.  
ALL UNITS TO BE FITTED WITH A 15mm WATER METER  
WATERPROOFING BY SPECIALIST - DERBIGUM TORCH-ON WATERPROOFING TO SCREED TO FALL ON ALL CONCRETE WALKWAYS, BALCONIES & ROOF SLABS



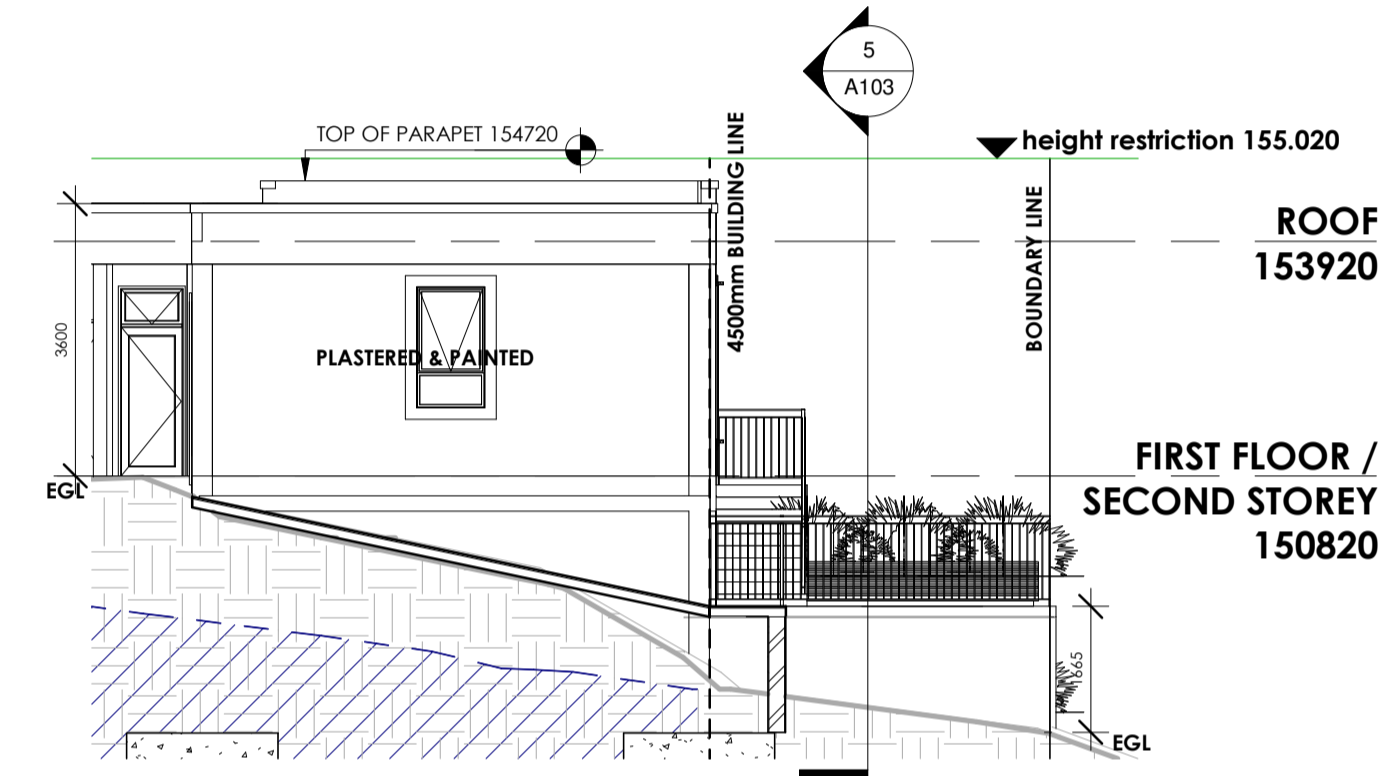
**NOTE:**  
 THE LOWEST POINT OF THE EGL  
 BELOW GROUND FLOOR/ FIRST  
 STOREY @ NORTH WEST CORNER  
 OF BUILDING, IS AT THE LEVEL :  
 142 544 OR 4 886mm BELOW FFL OF  
 THE GROUND FLOOR LEVEL



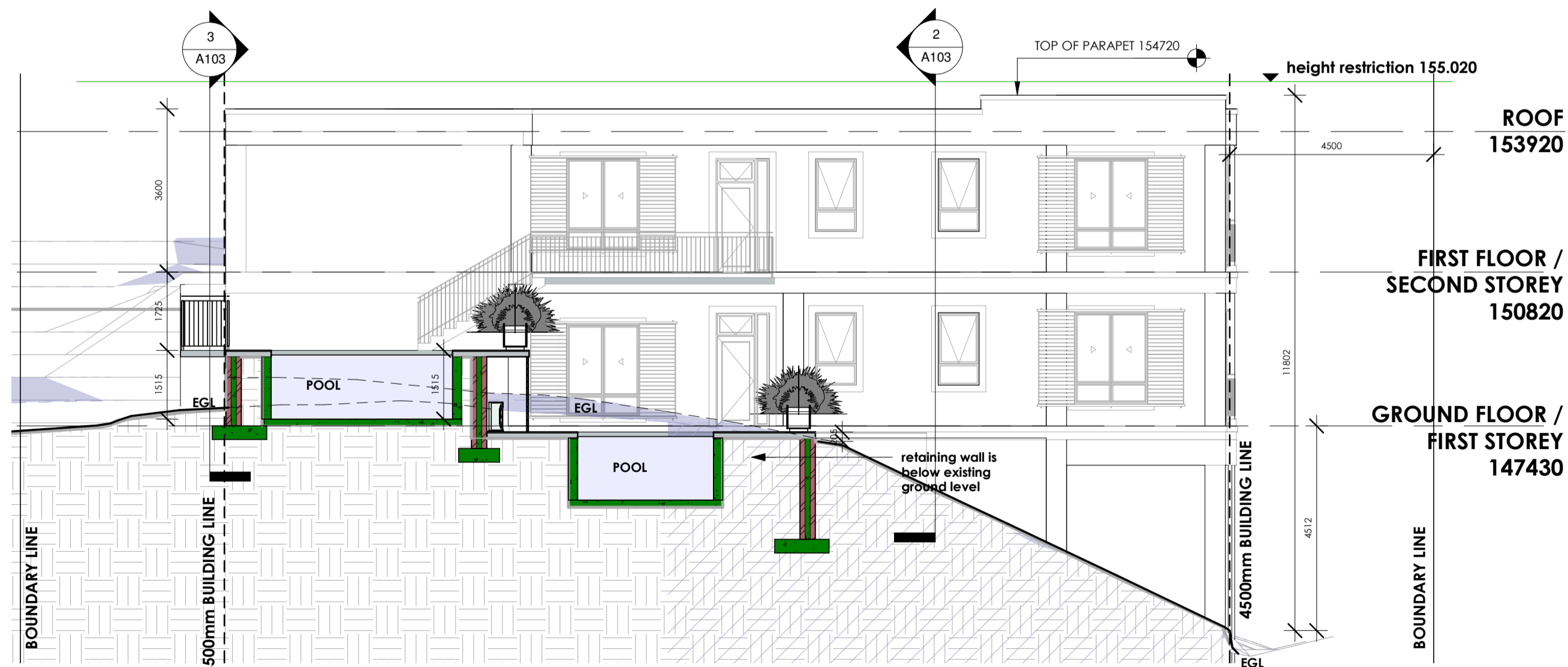
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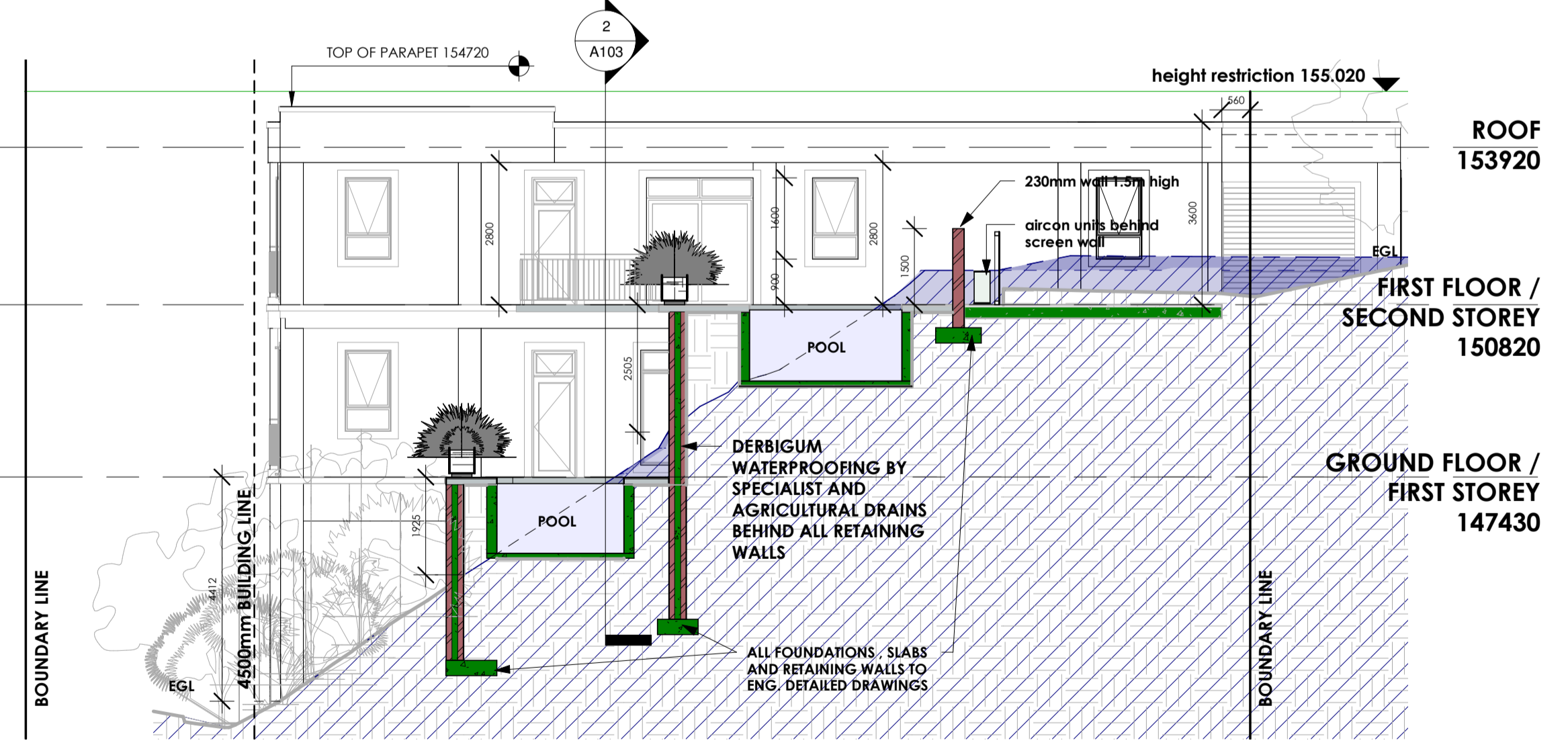
2 Section 2  
 1 : 100



3 Section 3  
 1 : 100



5 Section 5  
 1 : 100



4 Section 4  
 1 : 100

Architects  
 Signature: *[Signature]*

Clients  
 Signature: *[Signature]*

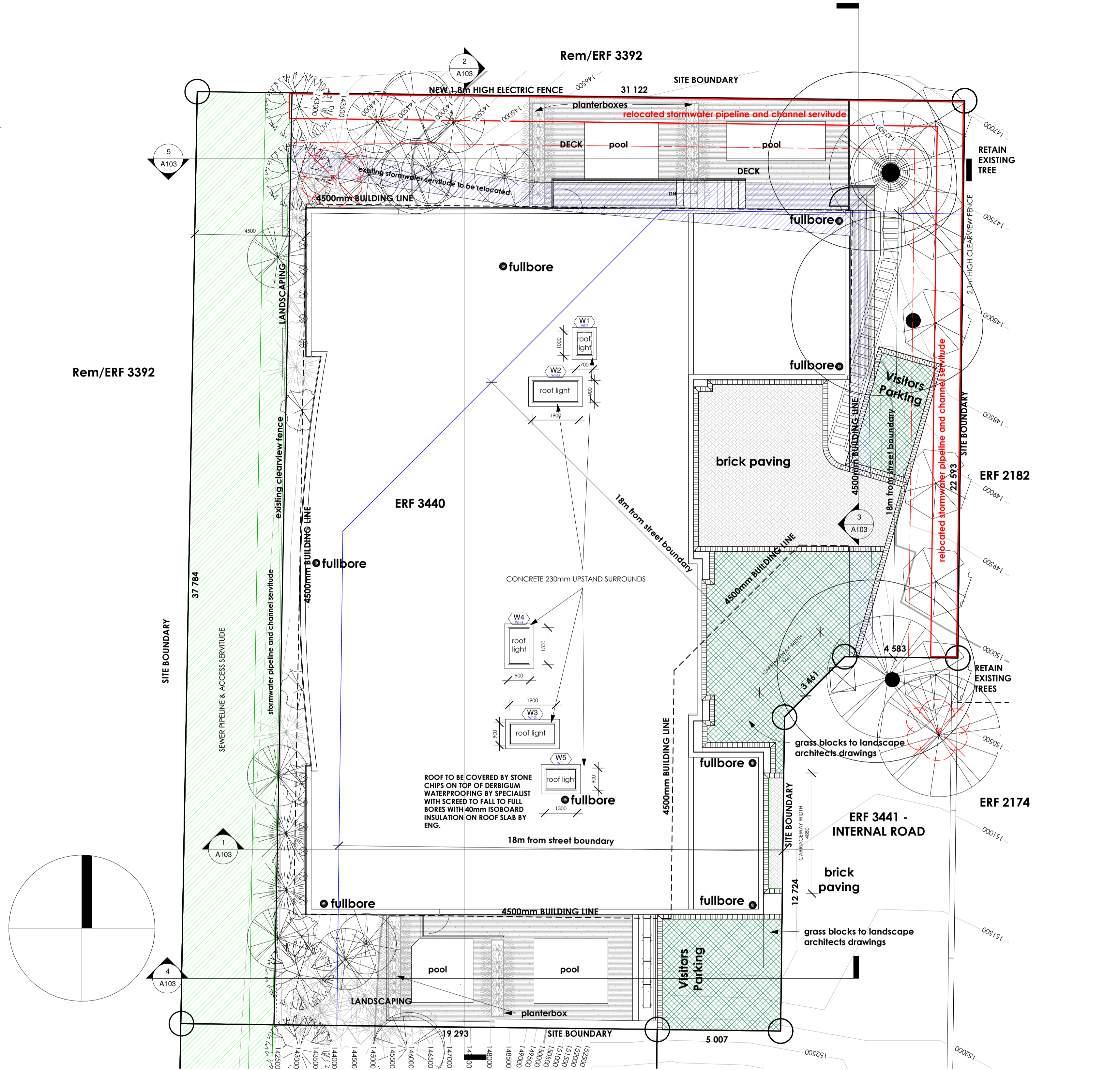


La Montagne - ERF 3440 (PROPOSED FLATS)	Project number	0118	SECTION
	Date	16-05-2023	<b>0118</b> <b>A103</b>
	Drawn by	BP	CURRENT REVISION
	Checked by	CKA	Scale



**NOTE:**  
PLUMBING INSTALLATION ALL ACCORDING TO PART P - SANS 10400 BASIN, SHOWER, SINK, TO 50mm DIA. WASTE WATER PIPE WC TO 110mm DIA. SOIL WATER PIPE. ALL CONNECTED TO MAIN SEWER LINE 110mm DIA. uPVC SOIL PIPES AT MIN. FALLS OF 1:60. SEWER VENTILATED AT HIGHEST POINT. ALLOW FOR I.E. AT CONNECTION TO MAIN SEWER LINE AND R.E. AT EACH BEND

Where a portion of a drain passes through a building, such portion shall be:  
a) supported throughout its length, without restricting thermal movement, and such support shall be securely attached to the building, and  
b) so placed that any junction, bend or point of access into it is readily accessible.  
Drainage to comply with SANS 10400-P: 2010.



1 Site  
1 : 100

ERF 3439

Architects  
Signature: *[Signature]*  
  
Clients  
Signature: *[Signature]*



La Montagne -  
ERF 3440  
(PROPOSED FLATS)

ZONING GR4		
ITEM	ACTUAL	ALLOWED/REQUIRED
ERF SIZE	1076m <sup>2</sup>	
COVERAGE	514m <sup>2</sup>	646m <sup>2</sup>
COVERAGE PERCENTAGE	47.73%	60%
BULK FACTOR	824m <sup>2</sup>	1614m <sup>2</sup>
BULK FACTOR	0.77	1.5
DECKS AREA	88m <sup>2</sup>	
PARKING PROVIDED	8	6 (1.5 PER UNIT)

Project number		0118	SITE
Date	16-05-2023	<b>0118</b>	<b>A112</b>
Drawn by	BP	CURRENT	REVISION
Checked by	CKA	Scale	1 : 100

**GENERAL NOTES**

**FOUNDATIONS**  
FOUNDATIONS TO COMPLY SANS 10400-H:2011  
ALL FOUNDATIONS TO BE CAST IN SIZES AS SHOWN BY ENGINEER

**WALLS**  
WALLS TO COMPLY SANS 10400-K:2011  
ALL WALLS TO BE BUILT WITH APPROVED 115x90x220mm MAXI BRICKS & CLASS 2 MORTAR. COMPRESSIVE STRENGTH: 3.5 MPA FOR SINGLE STOREY & 7.0 MPA FOR DOUBLE STOREY STRUCTURES. PROVIDE REINFORCED BRICK BEAMS OVER ALL DOOR AND WINDOW PENINGS. WITH BRICKFORCE TO EVERY THIRD BRICK COURSE. PROVIDE STEEL BUTTERFLY WALL TIES AT 2.5 TIES/M2 TO ALL CAVITY WALLS. PROVIDE DAMP PROOF COURSE AT FLOORS & INTOLS. CAVITIES FILLED WITH CONCRETE BELOW GROUND FLOOR TO FOUNDATIONS. PROVIDE STEPPED DPM. 375 MIC. EMBOSSED BRICKGRIP AT FLOOR LEVEL. ABOVE DOORS & WINDOWS. PROVIDE 10x7x110mm GUNDEL GUNVENT UPVC WEEHOLES AT 600MM C/C. WALL

**GROUND FLOOR**  
FLOORS TO COMPLY SANS 10400-J:2011  
FLOOR FINISH AS INDICATED ON PLAN ON 40mm SCREED ON CONCRETE SURFACE SLAB BY ENG. WITH REF. 193 MESH STEEL RE. MATT ON 250mic USB GREEN DAMP PROOF COURSE (SANS 925-1985 TYPE C) LAID WITH MIN. 150MM COVER. SEALS TO GUNPLAS TAPE. ALL INSTALLED ON 40mm ISOBOARD INSULATION ON 50MM CLEAN SANDBED ON WELL COMPACTED FILLING (150MM LAYERS). PROVIDE 22x120MM SAP MOULDED SKIRTING ALL PAINTED TO FINISHING SCHEDULE DPM HEIGHT ABOVE GROUND LEVEL TO COMPLY WITH PART K (4.5.3.7) OF SANS 10400

**INTOLS**  
PRESTRESSED CONCRETE INTOLS OVER ALL WINDOW & DOOR OPENINGS WIDER THAN 600MM. INTOLS MUST OVERLAP 230MM ON EITHER SIDE OF OPENING. PROVIDE BRICKFORCE REINFORCEMENT IN BRICKWORK AS FOLLOWS: SPAN 2.1 - 3.0M (4 LAYERS B/F), SPAN 3.0 - 3.9M (5 LAYERS B/F), SPAN 3.9 - 5.1M (6 LAYERS B/F)

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EXTERNAL & INTERNAL WALLS - 15MM SMOOTH SPONGE PLASTER & PAINT FINISHES AS PER FINISHING SCHEDULE (OR AS INDICATED ON ELEVATIONS)

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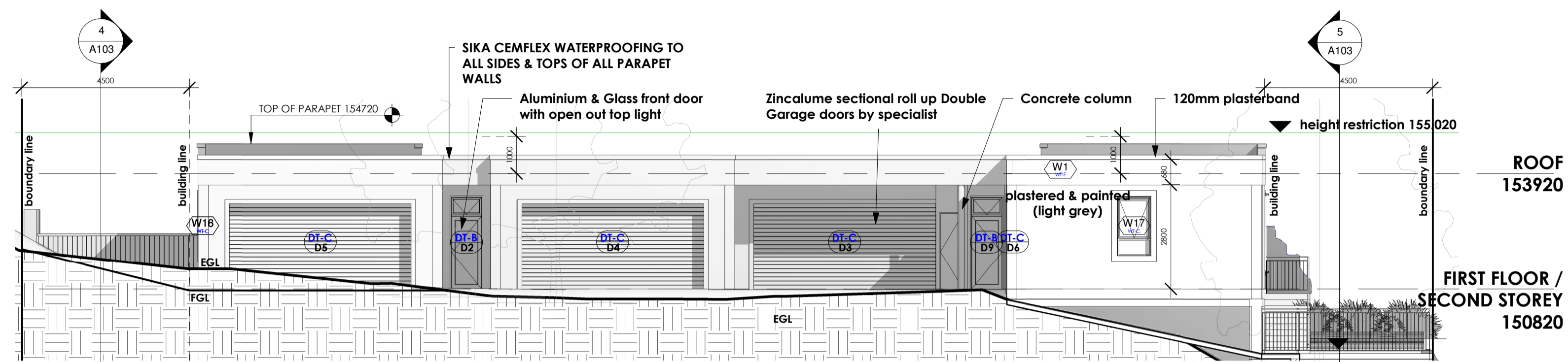
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**DRAINAGE**  
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ALL DRAINAGE DUCTS TO HAVE ACCESS HATCH TO COMPLY WITH SANS 10400 PART P  
THE HYDRAULIC LOADING FOR PROPOSED DISCHARGE PIPES TO COMPLY WITH PART P OF SANS 10400  
SEWER SYSTEM TO CONNECT TO EXISTING HOUSE CONNECTION  
MANHOLES TO BE PROVIDED AT CONNECTION POINTS  
RODDING EYES TO BE PROVIDED AT CHANGES IN DIRECTION

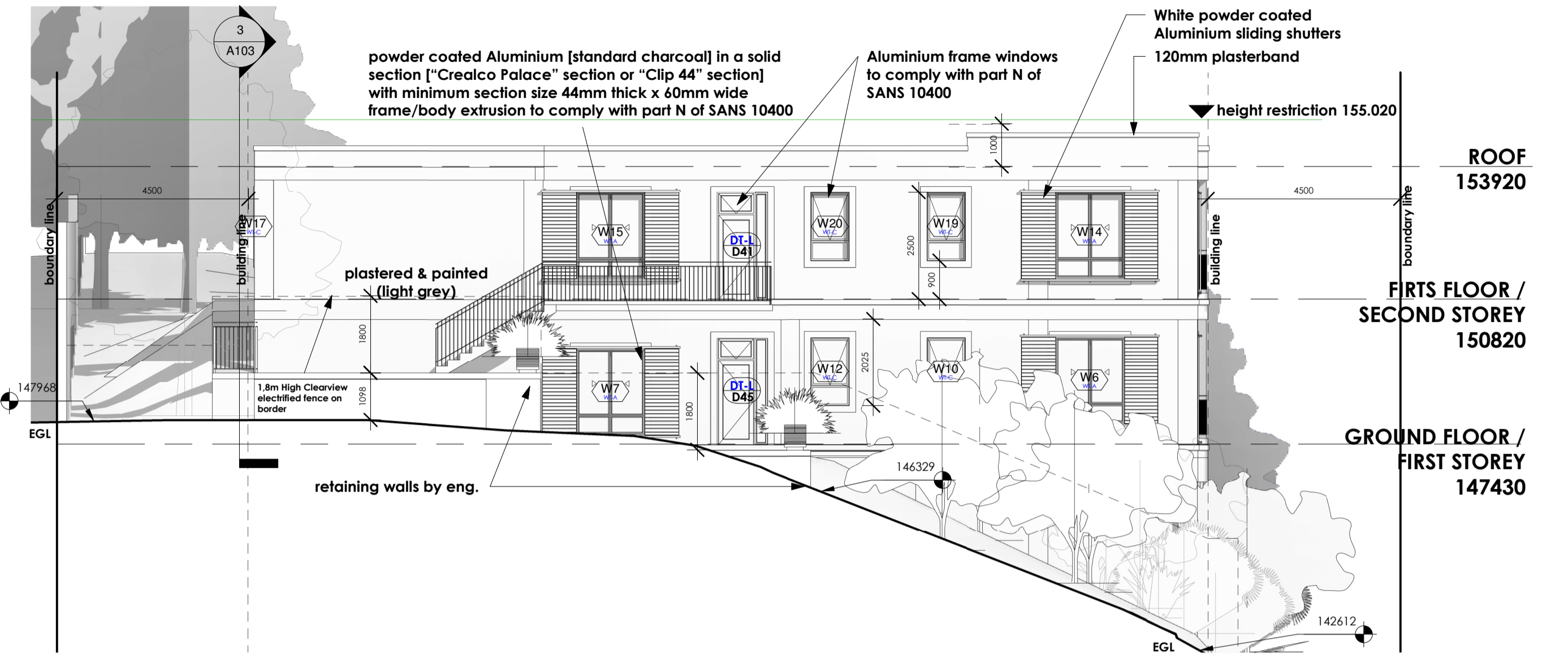
**ELECTRICAL**  
CONTRACTOR TO PROVIDE COMPLIANCE CERTIFICATE  
1. SINGLE PHASE CONNECTION REQUIRED  
2. APPLICATION FOR PRE-PAID METER REQUIRED  
3. ALL TV POINTS TO BE LINKED WITH 2 x 25MM C/CONDUIT  
4. STOVE CONDUIT TO BE 25MM  
5. MOUNTING HEIGHTS:  
• 300MM A/FFL (SOCKET GENERAL)  
• 1100MM A/FFL (SOCKET CUPB / TOPS)  
• 1100MM A/FFL (SWITCHES)  
6. PROVIDE SAMPLES OF LE GRANDE FITTINGS

**ENERGY USAGE DATA:**  
BUILDING CLASSIFICATION: H3  
GARAGE CLASSIFICATION: J4  
CLIMATIC ZONE 4  
TOTAL BUILDING AREA: EXCLUDING WALKWAYS, UNDERCOV, PATIO - BALCONIES m<sup>2</sup>  
NET FLOOR AREA: 791m<sup>2</sup>  
FENESTRATION CALCULATION: SEE TABLE COMPLIES  
FLOORS: PROVIDE & INSTALL 40MM ISOBOARD (R-VALUE 1.00) AROUND VERTICAL EDGES AND BELOW SLAB IN ACCORDANCE WITH SANS 204:2001 4.3.2 FLOORS  
EXTERNAL WALLS: MASONRY WALL TO ACHIEVE MIN. R-VALUE OF 0.35. 280mm WALL USED EXCEEDS VALUE  
THERMAL INSULATION: PROVIDE THERMAL INSULATION IN ACCORDANCE WITH SANS 204:2011 & SANS 10177-7 & SANS 428  
LIGHTING & POWER: MIN. LEVEL IN ACCORDANCE WITH SANS 10114-1 & SANS 10400-O. INSTALL LED LOW ENERGY FITTINGS  
**GENERAL:**  
ALL SHOWERS TO BE FITTED WITH LOW FLOW SHOWER HEADS.  
ALL UNITS TO BE FITTED WITH A 15mm WATER METER  
WATERPROOFING BY SPECIALIST - DERBIGUM TORCH-ON WATERPROOFING TO SCREED TO FALL ON ALL CONCRETE WALKWAYS, BALCONIES & ROOF SLABS

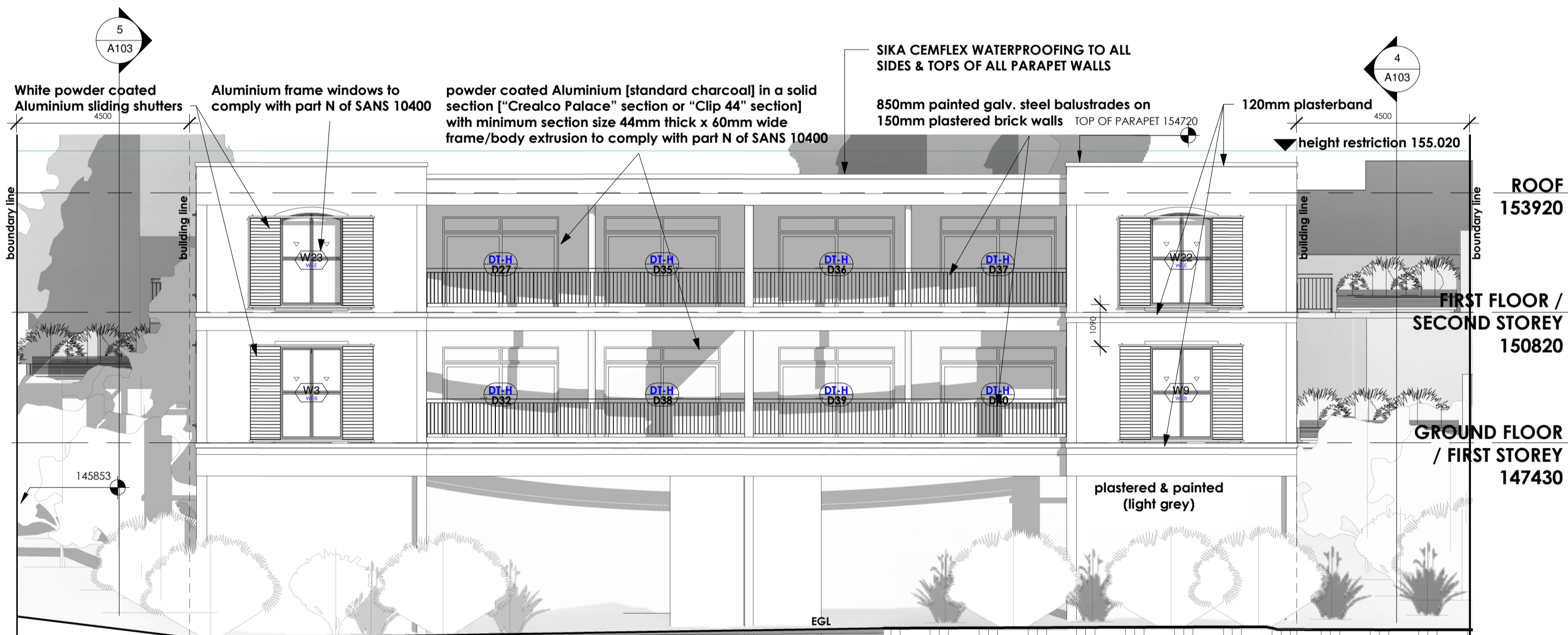




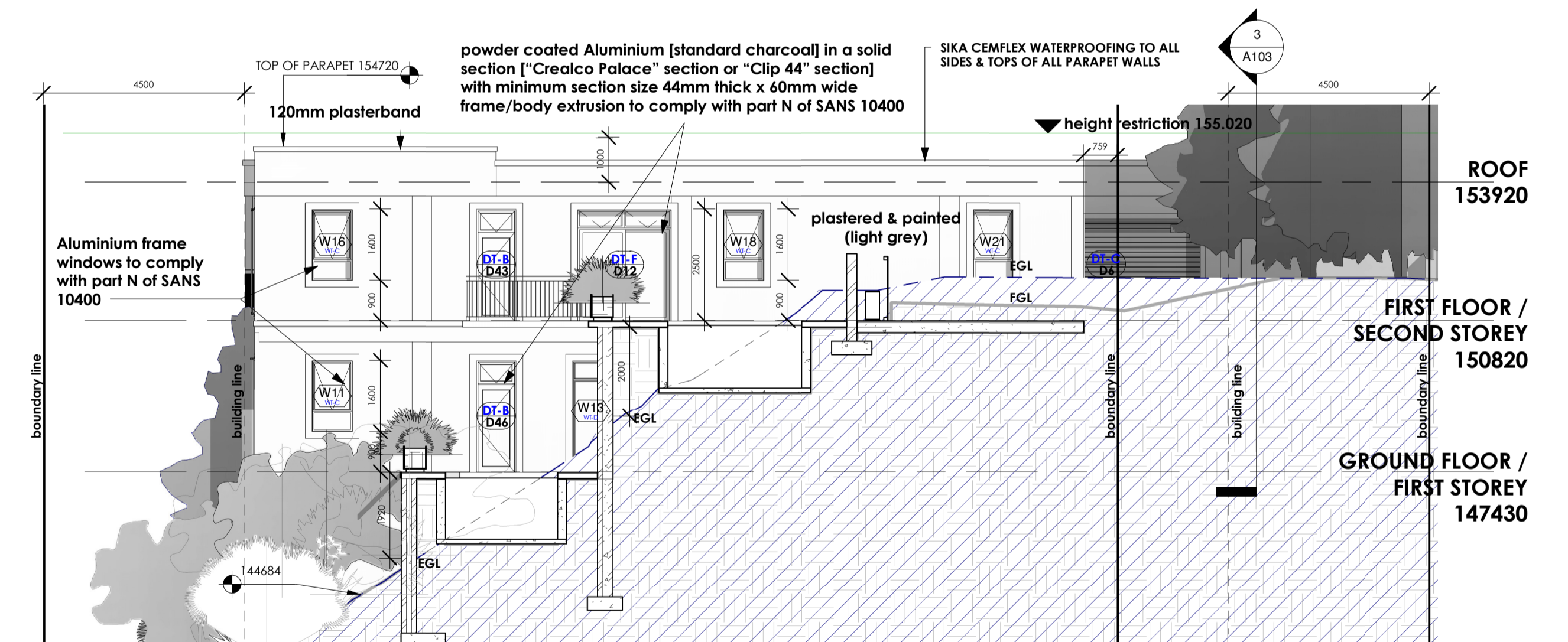
1 East  
1 : 100




2 North  
1 : 100




4 West  
1 : 100



3 South  
1 : 100

Architects  
Signature: 

Clients  
Signature: 

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La Montagne - ERF 3440 (PROPOSED FLATS)		Project number	0118	ELEVATIONS	
		Date	16-05-2023	<b>0118</b>	<b>A113</b>
		Drawn by	BP	CURRENT	REVISION
		Checked by	CKA	Scale	1 : 100